

**BUILDING OCCUPANCY DATA:**

REF: 2017 OHIO BUILDING CODE; SEPERATED MIXED USE BUILDING  
SEE SHEET S-2 FOR FRONTAGE INCREASE CALCULATIONS

**FIRE AREA "A": EXISTING w/PROPOSED ADDITION**  
 USE GROUP: "A-2" ASSEMBLY w/ACCESSORY USE = "M" MERCANTILE, <5.0% OF AREA  
 CONSTRUCTION TYPE: 5-B; NO FIRE SUPPRESSION  
 AREA: TABULAR; 6,000 SQ. FT. (Table 506.2, 5-B Const., A-2 Use)  
 ALLOWABLE: 9,570 SQ. FT. w/FRONTAGE INCREASE per Sec. 506.2.2  
 EXISTING: 1,774.0 SQ. FT.  
 ADDITION: 1,583.8 SQ. FT.  
 PROPOSED: 3,357.8 SQ. FT. w/ADDITION  
 AREA RATIO: ACTUAL/ALLOWABLE = 0.351  
 HEIGHT: ALLOWABLE: 40'-0" (Table 504.3, 5-B Const., A-2 & M Use)  
 EXISTING: 13'-2"±  
 PROPOSED: 14'-6"± w/ADDITION  
 ALLOWABLE: 1 STORY (Table 504.4, 5-B Const., A-2 & M Use)  
 EXISTING: 1 STORY  
 PROPOSED: 1 STORY (NO CHANGE)  
 MAXIMUM OCCUPANCY LOAD: 49 PERSONS-EXISTING (Per table 1004.1.2)  
 ADDITION: 50 PERSONS  
 PROPOSED: 99 PERSONS w/ADDITION  
 MAXIMUM EXIT ACCESS TRAVEL DISTANCE: 200' ALLOWABLE  
 50'± PROPOSED  
 MAXIMUM COMMON PATH OF EGRESS TRAVEL: 75' ALLOWABLE  
 30'± PROPOSED

**FIRE AREA "B": EXISTING-NO WORK**  
 USE GROUP: "A-2" ASSEMBLY, COVERED PATIO - Seasonal Use  
 CONSTRUCTION TYPE: 5-B; NO FIRE SUPPRESSION  
 AREA: TABULAR; 6,000 SQ. FT. (Table 506.2, 5-B Const., A-2 Use)  
 ALLOWABLE: 9,750 SQ. FT. w/FRONTAGE INCREASE per Sec. 506.2.1  
 EXISTING: 2,194.5 SQ. FT. ~ NO WORK THIS PROJECT  
 PROPOSED: 2,194.5 SQ. FT. (NO CHANGE)  
 AREA RATIO: ACTUAL/ALLOWABLE = 0.224  
 HEIGHT: ALLOWABLE: 40'-0" (Table 504.3, 5-B Const., A-2 Use)  
 EXISTING: 17'-2"± ~ NO WORK THIS PROJECT  
 PROPOSED: 17'-2"± NO CHANGE  
 ALLOWABLE: 1 STORY (Table 504.4, 5-B Const., A-2 Use)  
 EXISTING: 1 STORY ~ NO WORK THIS PROJECT  
 PROPOSED: 1 STORY (NO CHANGE)  
 MAXIMUM OCCUPANCY LOAD: 89 PERSONS (Per table 1004.1.2)  
 (Cov'd, Seasonal Patio) Estimated  
 MAXIMUM EXIT ACCESS TRAVEL DISTANCE: 200' ALLOWABLE  
 100'± EXISTING (NO CHANGE)  
 MAXIMUM COMMON PATH OF EGRESS TRAVEL: 75' ALLOWABLE  
 42'± EXISTING (NO CHANGE)

**FIRE AREA "C": EXISTING w/PROPOSED ADDITION**  
 USE GROUP: MIXED, NON-SEPERATED, EXISTING = "F-2 & F-1" FACTORY, "S-2 & S-1" STORAGE  
 PROPOSED ACCESSORY USE = "M" MERCANTILE, <6.5% OF AREA  
 CONSTRUCTION TYPE: 5-B (Actual Mixed 5-B & 3-B); NO FIRE SUPPRESSION  
 AREA: TABULAR; 8,500 SQ. FT. (Table 506.2, 5-B Const., F-1 Use)  
 ALLOWABLE: 11,534.5 SQ. FT. w/FRONTAGE INCREASE per Sec. 506.2.4  
 EXISTING: 5,620.8 SQ. FT.  
 ADDITION: 378.3 SQ. FT.  
 PROPOSED: 5,999.1 SQ. FT. ~ w/ADDITION  
 AREA RATIO: ACTUAL/ALLOWABLE = 0.520  
 HEIGHT: ALLOWABLE: 40'-0" (Table 504.3, 5-B Const., S & F Use)  
 EXISTING: 22'-0"±  
 EXISTING: 28'-0"± @ CUPOLA  
 ALLOWABLE: 1 STORY (Table 504.4, 5-B Const., S-2, F-2 & M Use)  
 PROPOSED: 1 STORY ~ "M" ACCESSORY USE ADDITION  
 ALLOWABLE: 2 STORY (Table 504.4, 3-B Const., S-1 & F-1 Use)  
 EXISTING: 2 STORY (NO CHANGE)  
 MAXIMUM OCCUPANCY LOAD: 27 PERSONS w/ADDITION  
 ESTIMATED ACTUAL: 12 PERSONS w/ADDITION  
 MAXIMUM EXIT ACCESS TRAVEL DISTANCE: 300' ALLOWABLE (S-2 & F-2 Use)  
 98'± PROPOSED (S-2 & F-2 Use)  
 200' ALLOWABLE (S-1 & M Use)  
 156'± PROPOSED (S-1 & M Use)  
 75' ALLOWABLE (F & M Use)  
 40'± PROPOSED  
 100' ALLOWABLE (S Use)  
 98'± PROPOSED

- INDEX OF DRAWINGS:**
- A-1 FRONT & REAR EXTERIOR ELEVATIONS, BUILDING DATA & INDEX OF SHEETS
  - A-2 SIDE VIEW EXTERIOR ELEVATIONS & GENERAL SPECIFICATIONS
  - A-3 GENERAL BUILDING AREA PLAN

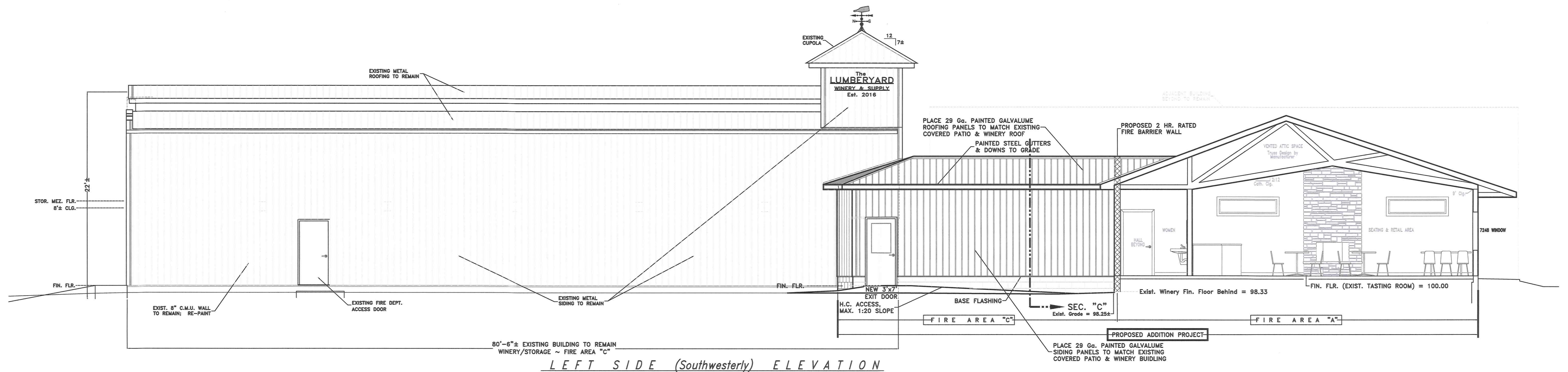
**ATTACHMENTS:**  
S-1 SITE PLAN, LOCATION MAP & H.C. PARKING DETAIL

NOTE: ADDITIONAL RESTROOMS ARE AVAILABLE IN THE ADJACENT BUILDING UNDER THE SAME OWNERSHIP & CONTROL AND WITHIN 500 FEET. SEE SITE PLAN SHEET S-1 FOR ADJACENT BUILDING LOCATION.

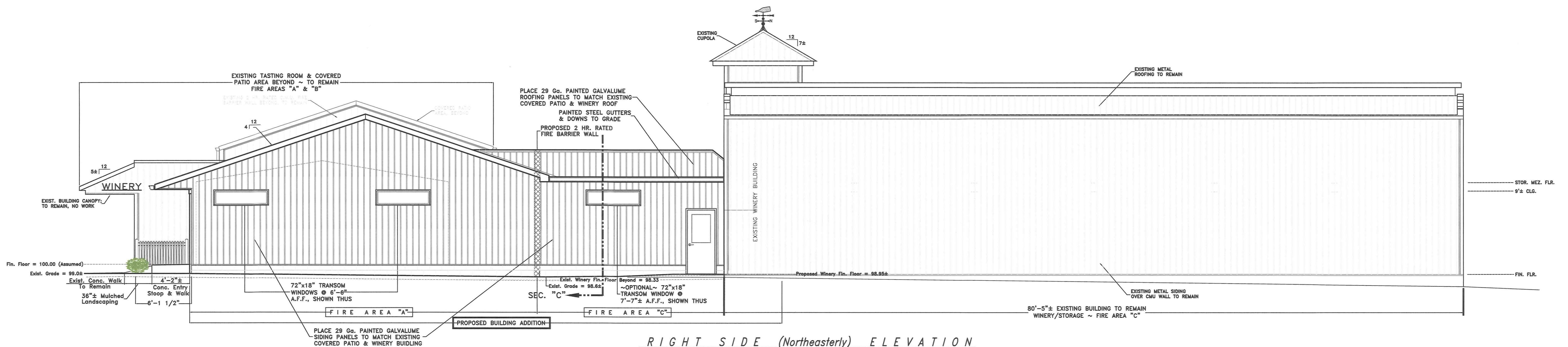
PRELIMINARY  
NOT FOR CONSTRUCTION



**THE LUMBER YARD WINERY & SUPPLY**  
 1186 W. FRONT STREET 419.966.0411 NAPOLEON, OHIO 43545  
 DIRECTORY: C:\NO\CUSTOM\PROJECTS FILE: LUMBERYARD\2021\_TASTING\_ROOM\_ADDITION\_FLEVEY  
 DRAWN BY: R.D.S. ~ dba: NEW DIMENSIONS REVISION:  
 FRONT & REAR EXTERIOR ELEVATIONS, SCALE: 3/16"=1'-0"  
 BUILDING DATA & INDEX OF SHEETS DATE: OCT., 2021  
 DRAWING NUMBER: A-1



LEFT SIDE (Southwesterly) ELEVATION



RIGHT SIDE (Northeasterly) ELEVATION

GENERAL SPECIFICATIONS:

- GENERAL SPECIFICATIONS:**
- ALL WORK & MATERIALS SHALL BE IN ACCORDANCE WITH LOCAL CODES AND ALSO WITH THE 2017 OHIO BUILDING CODE (O.B.C.) (LATEST EDITION) AND ALL RELATED STATE CODES INCLUDING THE FOLLOWING:
    - 2017 OHIO PLUMBING CODE (O.P.C.)
    - 2017 OHIO MECHANICAL CODE (O.M.C.) & 2017 IFGC (Ref: 301.3 O.M.C.)
    - 2017 NATIONAL ELECTRIC CODE (N.E.C.)
    - 2009 ICC A117.1 (Accessible & Usable Buildings & Facilities)
  - CONTRACTORS SHALL INSURE THAT ALL PRODUCTS AND MATERIAL UTILIZED COMPLY WITH CURRENT LOCAL, STATE AND FEDERAL REGULATIONS AND CODES AND THAT THEIR INSTALLATION IS IN STRICT COMPLIANCE WITH THE INSTRUCTIONS AND RECOMMENDATIONS OF THE MANUFACTURER.
  - CONTRACTOR SHALL VERIFY ALL DIMENSIONS OF EXISTING CONSTRUCTION AND THE CERTIFIED DRAWINGS OF THE MANUFACTURED BUILDING SUPPLIER PRIOR TO BEGINNING WORK. ANY DISCREPANCIES, INCONSISTENCIES OR ERRORS SHALL BE REPORTED TO THE ENGINEER AND BE RESOLVED PRIOR TO PROCEEDING WITH THE CONSTRUCTION.
  - EMERGENCY RESPONDER RADIO COVERAGE SHALL BE AVAILABLE IN THE BUILDING AS REQUIRED BY SEC. 914 O.B.C. AND SEC. 510 OF THE OHIO FIRE CODE; COMPLIANCE SHALL BE VERIFIED PRIOR TO BUILDING OCCUPANCY.
- STRUCTURAL STEEL NOTES:**
- ALL STRUCTURAL STEEL MEMBERS SHALL BE MINIMUM ASTM A-36 STEEL, OR AS PROVIDED BY THE PRE-ENGINEERED STEEL BUILDING MANUFACTURER.
  - ALL ANCHOR RODS SHALL BE MINIMUM ASTM F1554, GRADE 55. ALL ANCHOR RODS SHALL BE PROVIDED WITH A HOOKED END OR HEAD FOR EMBEDMENT, MINIMUM TOTAL HOOK LENGTH SHALL BE 12 TIMES THE ANCHOR ROD DIAMETER.
  - REINFORCING STEEL SHALL BE ASTM A615, A616 OR A617 STEEL, GRADE 60.
  - ALL CONCRETE SLABS SHALL BE REINFORCED WITH A MINIMUM OF 1 LAYER OF 6x6x10ga WELDED WIRE FABRIC UNLESS NOTED OTHERWISE ON THE PLAN.
  - ALL STRUCTURAL STEEL MEMBERS SHALL RECEIVE 1 SHOP COAT OF PRIMER.
  - ANY WELDED CONNECTIONS MADE ON-SITE SHALL BE MADE BY A CERTIFIED WELDER IN ACCORDANCE WITH THE LATEST SPECIFICATIONS OF THE AMERICAN WELDING SOCIETY.

- CONCRETE WORK NOTES:**
- ALL CONCRETE CONSTRUCTION SHALL CONFORM TO THE LATEST SPECIFICATIONS OF THE AMERICAN CONCRETE INSTITUTE. ALL NEW CONCRETE SHALL CONSIST OF A MINIMUM 6 BAG MIX WITH A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI. AT 28 DAYS. ALL EXTERIOR CONCRETE FLATWORK SHALL BE AIR ENTRAINED (MINIMUM 6% ±2%) CONCRETE. ALL CONCRETE SHALL BE ALLOWED TO CURE A MINIMUM OF 14 DAYS PRIOR TO LOADING.
  - ALL GRANULAR BASE PLACED UNDER CONCRETE FLATWORK SHALL BE PLACED AS PER THE REQUIREMENTS OF STRUCTURAL FILL.
  - INTERIOR FLOOR SLABS SHALL BE PLACED ON A MINIMUM VAPOR BARRIER CONSISTING OF 6 MIL POLYETHYLENE MATERIAL, VISOQUEEN OR EQUAL. SLABS SHALL BE PLACED LEVEL, EXCEPT WHERE FLOOR DRAINS ARE PLACED, AND SHALL BE FINISHED WITH A SMOOTH TROWEL FINISH. ALL CONTROL JOINTS SHALL BE SEALED WITH AN APPROVED ELASTOMERIC JOINT SEALER AND THE SURFACE SHALL RECEIVE ONE COAT OF A CONCRETE FLOOR SEALER/CURING COMPOUND AS APPROVED BY THE ENGINEER.
  - ALL SIDEWALK AND ENTRANCE SLABS SHALL BE FLOATED AND PROVIDED WITH A LIGHT BROOM FINISH. PROVIDE SAWN CONTROL JOINTS AT A MAXIMUM OF 5' ON CENTER FOR SIDEWALKS AND 15' APART ON SLABS OR AS NOTED ON THE CONSTRUCTION PLANS. PROVIDE A MINIMUM 1/2" EXPANSION JOINT AT THE JUNCTION OF SLAB AND BUILDING WALL. ALL CONTROL JOINTS SHALL BE SAWN TO A DEPTH OF 1/4" OF THE SLAB THICKNESS. ALL SIDEWALKS AND SLABS SHALL RECEIVE ONE COAT OF AN APPROVED SEALER/CURING COMPOUND.
- INTERIOR FRAMING NOTES:**
- CONTRACTOR SHALL CONFIRM THE SIZE AND SPACING OF ALL FRAMING AND STRUCTURAL MEMBERS TO MEET LOCAL CODES WITH THE LOCAL CODE OFFICIAL. REQUIRED STRUCTURAL FRAMING MEMBERS NOT INDICATED ON THE PLAN SHALL BE SIZED BY THE CONTRACTOR TO MEET LOCAL CONDITIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FINAL SIZING OF ALL STRUCTURAL MEMBERS AND SHALL CONFIRM THEIR SUFFICIENCY WITH THE PROJECT ENGINEER AND CODE OFFICIALS AS REQUIRED.
  - ALL DIMENSIONAL FRAMING LUMBER SHALL BE EQUAL TO, OR BETTER THAN, #2 SPRUCE-PINE-FIR.

- INTERIOR FRAMING NOTES, continued:**
- ALL LUMBER IN DIRECT CONTACT WITH CONCRETE OR WITHIN 8" OF FINISHED GRADE SHALL BE PRESSURE TREATED LUMBER MEETING THE REQUIREMENTS OF SECTIONS 2304.12 & 2303.1.9, O.B.C.. ALL PRESSURE TREATED LUMBER SHALL BE AT A MAXIMUM MOISTURE CONTENT OF 19%, OR LESS.
  - INTERIOR DIMENSIONS SHOWN HEREON ARE TAKEN TO THE CENTER OF EXISTING STEEL BEAMS, TO THE FACE OF DOOR JAMBS, STUDS OR EXIST. C.M.U. WALLS. ROOM SIZES SHOWN ARE PROPOSED FINISHED ROOM SIZES. STUDS SUPPORTING ALL HEADERS, BEAMS AND ORDERS SHALL BE DOUBLED. ALL WALL NOMINAL HEIGHTS SHALL BE AS NOTED OR IMPLIED ON THE PLANS. ALL LAMINATED VENEER LUMBER USED SHALL BE A MIN. 3,100 FB AND A MIN. 2,000,000 MOE. MINIMUM WALL HEADERS SHALL BE AS FOLLOWS AND SHALL BE CONSTRUCTED w/ 1/2" O.S.B. OR PLYWOOD SPACERS, GLUED AND NAILED BETWEEN 2x MEMBERS, OR AS OTHERWISE SPECIFIED.
- DEFLECTION LIMITS:** LENGTH/180 FOR RAFTERS w/Slope over 3:12 (no ceiling)  
 LENGTH/360 FOR FLOORS & PLASTERED CEILINGS.  
 LENGTH/240 FOR ALL OTHER STRUCTURAL MEMBERS.  
 HEIGHT/180 FOR INTERIOR WALLS & PARTITIONS.
- DOOR & WINDOW NOTES:**
- MEANS OF EGRESS DOORS SHALL BE READILY OPENABLE FROM THE SIDE FROM WHICH EGRESS IS MADE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. OPERATION OF THE DOOR HANDLE INSIDE SHALL UNLOCK DOOR HARDWARE; PUSH BUTTONS OR THUMB TURNS INSIDE SHALL NOT PREVENT THE UNLOCKING OF THE DOOR HARDWARE WHEN THE DOOR HANDLE IS OPERATED.
  - PROVIDE LEVEL GRADE AT ALL MEANS OF EGRESS DOORWAY LANDINGS w/MAXIMUM OF 1/2" THRESHOLD, MAXIMUM SLOPE OF APPROACH AT DOOR SHALL BE 1/4" PER FOOT.

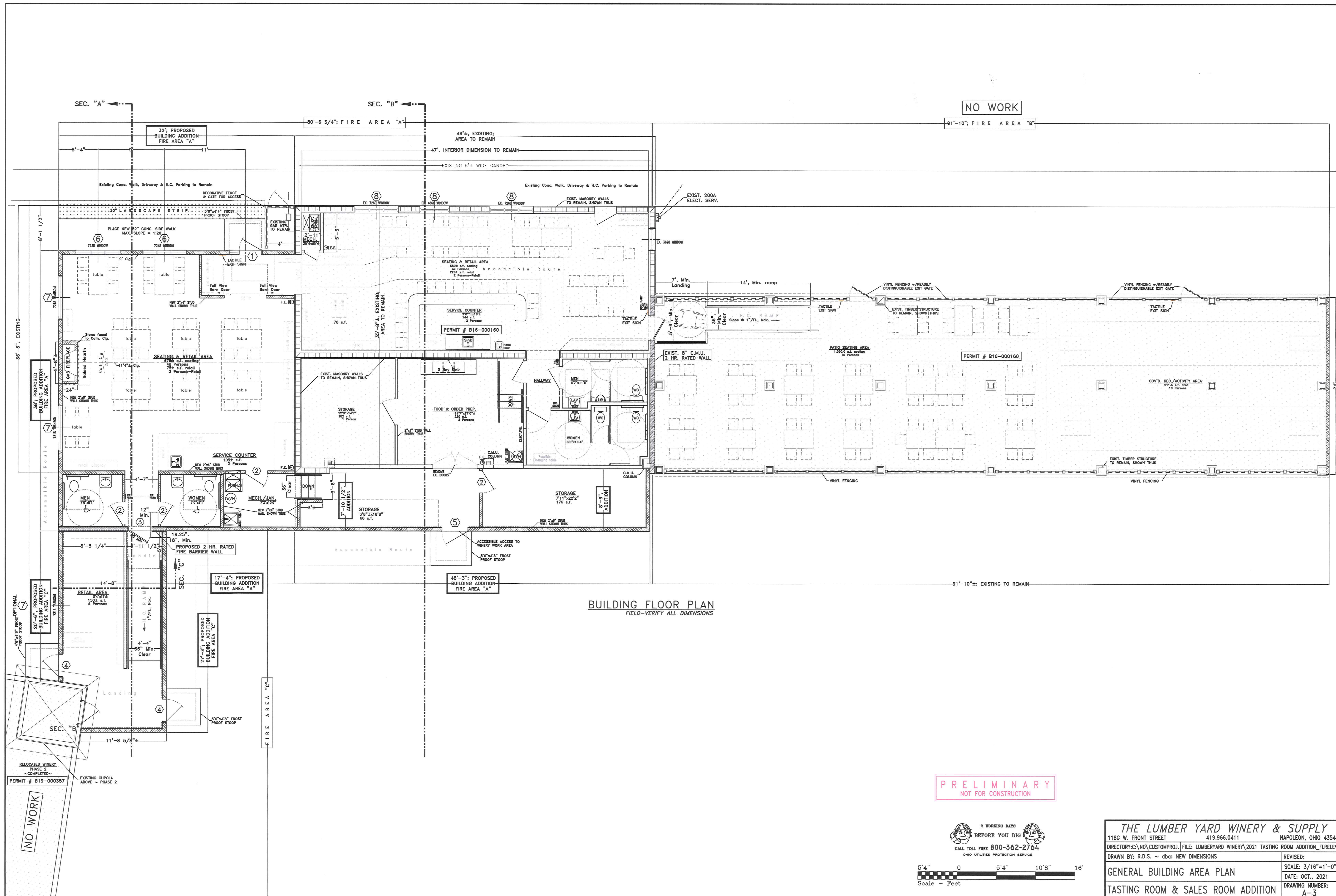
- INTERIOR FINISH NOTES:**
- ALL INTERIOR FINISH MATERIALS, COLORS, ETC., SHALL BE CHOSEN BY THE OWNER FROM MANUFACTURERS STANDARDS.
  - INTERIOR WALL & CEILING FINISH MATERIAL SHALL BE MIN 29 GA., GALVALUME, PAINTED (WHITE) STEEL LINER PANELS, SCREW ATTACHED.
  - DRYWALL SHALL BE 5/8" GYPSUM WALLBOARD, 4" WIDE, ATTACHED TO STUDS OR JOISTS WITH 1-1/2" LONG TYPE "S" SELF-TAPPING STEEL SCREWS, SPACED 8" o/c ALONG EDGES OF BOARD AND 12" o/c IN THE FIELD OF THE BOARD. JOINT COMPOUND SHALL BE VINYL, DRY OR PREMIXED, APPLIED IN TWO COATS TO JOINTS AND FASTENER HEADS w/2" WIDE PAPER TAPE EMBEDDED IN THE FIRST LAYER OF COMPOUND OVER ALL JOINTS. ALL SURFACE SHALL BE SANDED SMOOTH & RECEIVE ONE COAT OF DRYWALL PRIMER/SEALER AND ONE COAT OF SEMI-GLOSS LATEX PAINT. SURFACE TEXTURES MAY BE APPLIED PER OWNERS DIRECTION, CHOICE AND COST.
- BUILDING ENVELOPE NOTES:**
- NEW STEEL ROOFING AND SIDING PANELS SHALL BE GALVALUME PANELS w/ KYNAR FINISH, A MIN. OF 29 GAGE, OR EQUAL, SCREW ATTACHED; WITH COLOR TO BE CHOSEN BY THE OWNER FROM STANDARD AVAILABLE COLORS.
  - BUILDING STEEL (FINISH PANELS) SHALL BE BONDED & GROUNDED IN ACCORDANCE WITH 2014 N.E.C. ARTICLE 250.116.
  - USE FULLY ADHERED EPDM ROOFING IN THE AREA OF THE SLOPED CRICKET ADJACENT TO THE PROPOSED 8'-6"x8'-6"± DECORATIVE CUPOLA AS REQUIRED TO SHED WATER TO THE NORTH & WEST AROUND THE PROPOSED CUPOLA.
  - PROVIDE WEATHER-STRIPPING AT THE EXTERIOR DOOR OPENINGS & CAULK, OR OTHERWISE SEAL, ALL JOINTS AND UTILITY LINE ENTRANCES SUBJECT TO AIR INFILTRATION.
  - INSULATION OF THE CONDITIONED BUILDING AREA ENVELOPE SHALL MEET THE REQUIREMENTS OF THE ENERGY CODE COMPLIANCE TABLE SHOWN HEREON AND OF THE COMCHECK ENERGY CODE ANALYSIS SUBMITTED HERewith.

- STRUCTURAL DESIGN LOADS:**
- SOIL BEARING CAPACITY: 1,500 p.s.f. (Class 4 Soils)  
 DESIGN LOADS: OCCUPANCY CATEGORY = II (Table 1604.5)  
 MIN. 100 psf. LIVE ("A-3 & "M AREA) plus DEAD LOAD  
 MIN. 125 psf. LIVE ("T-2 & S-2" AREA) plus DEAD LOAD  
 NO CHANGE REQ'D. TO EXIST. CONCRETE SLAB FLOORS  
 ROOF: 20 psf. Min. LIVE LOAD plus DEAD LOAD  
 20 psf. GROUND SNOW LOAD, Pg  
 SNOW EXPOSURE FACTOR, Ce = 0.9  
 SNOW LOAD IMPORTANCE FACTOR, Is = 1.0  
 THERMAL FACTOR, Ct = 1.0  
 WIND: EXPOSURE "B"  
 115 mph Ultimate design wind speed  
 PER Figure 1609.3(1), O.B.C.  
 89 mph Nominal design wind speed  
 PER Table 1609.3.1, O.B.C.  
 WIND IMPORTANCE FACTOR, Iw = 1.00  
 SEISMIC DATA: SITE CLASS = 0  
 USE GROUP = I  
 OCCUPANCY IMPORTANCE FACTOR = 1.00

PRELIMINARY  
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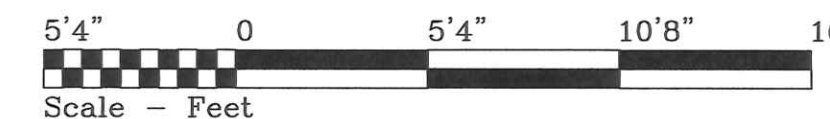
**THE LUMBER YARD WINERY & SUPPLY**  
 1186 W. FRONT STREET 419.966.0411 NAPOLÉON, OHIO 43545  
 DIRECTORY: C:\ND\CUSTOMPROJECTS\FILE: LUMBERYARD\2021\_TASTING ROOM ADDITION\_FLRELEV  
 DRAWN BY: R.D.S. ~ dba: NEW DIMENSIONS REVISED:  
 SCALE: 3/16"=1'-0"  
 DATE: OCT., 2021  
 SIDE VIEW EXTERIOR ELEVATIONS & GENERAL SPECIFICATION DRAWING NUMBER:  
 A-2





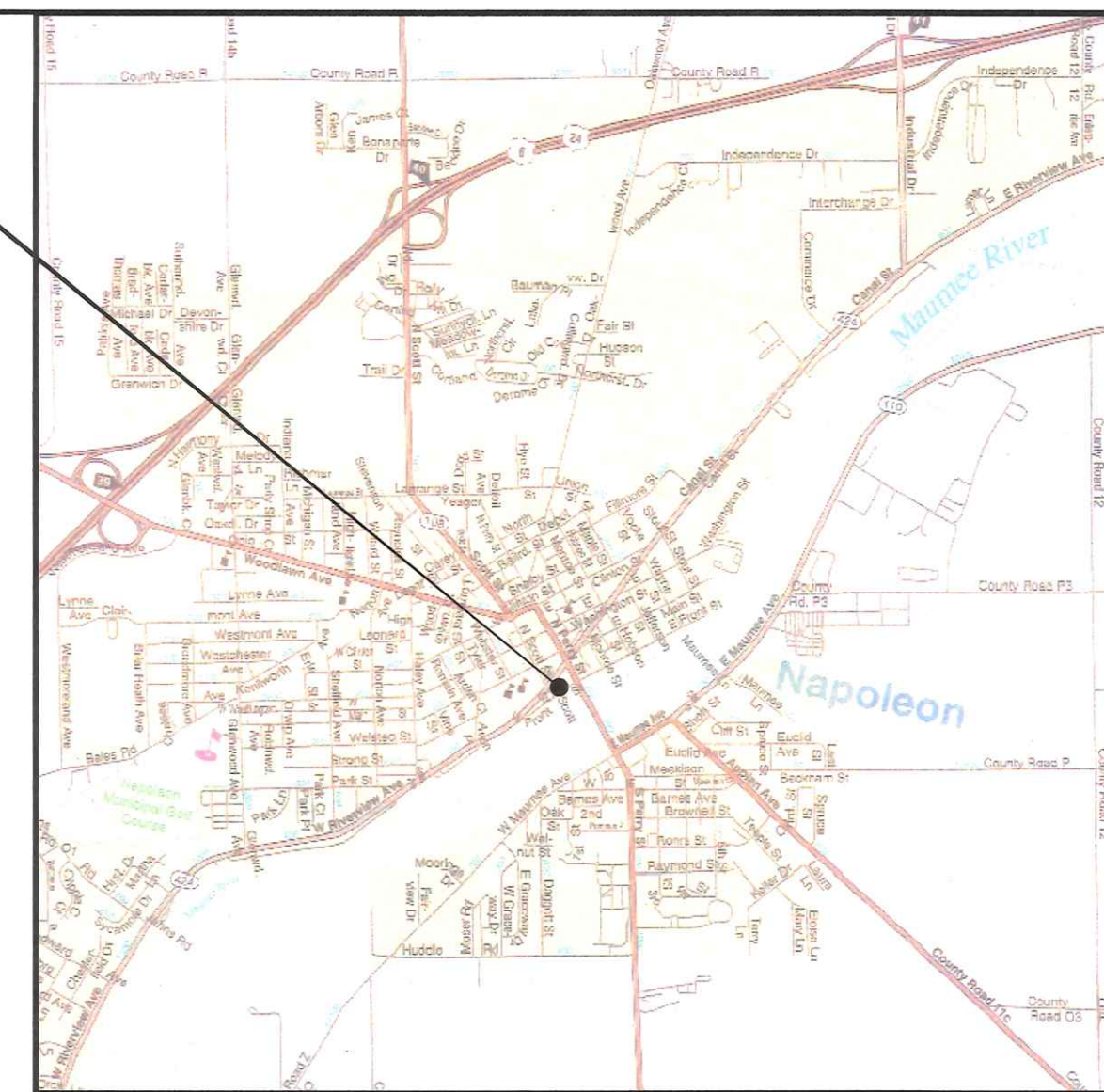
**BUILDING FLOOR PLAN**  
FIELD-VERIFY ALL DIMENSIONS

**PRELIMINARY**  
NOT FOR CONSTRUCTION

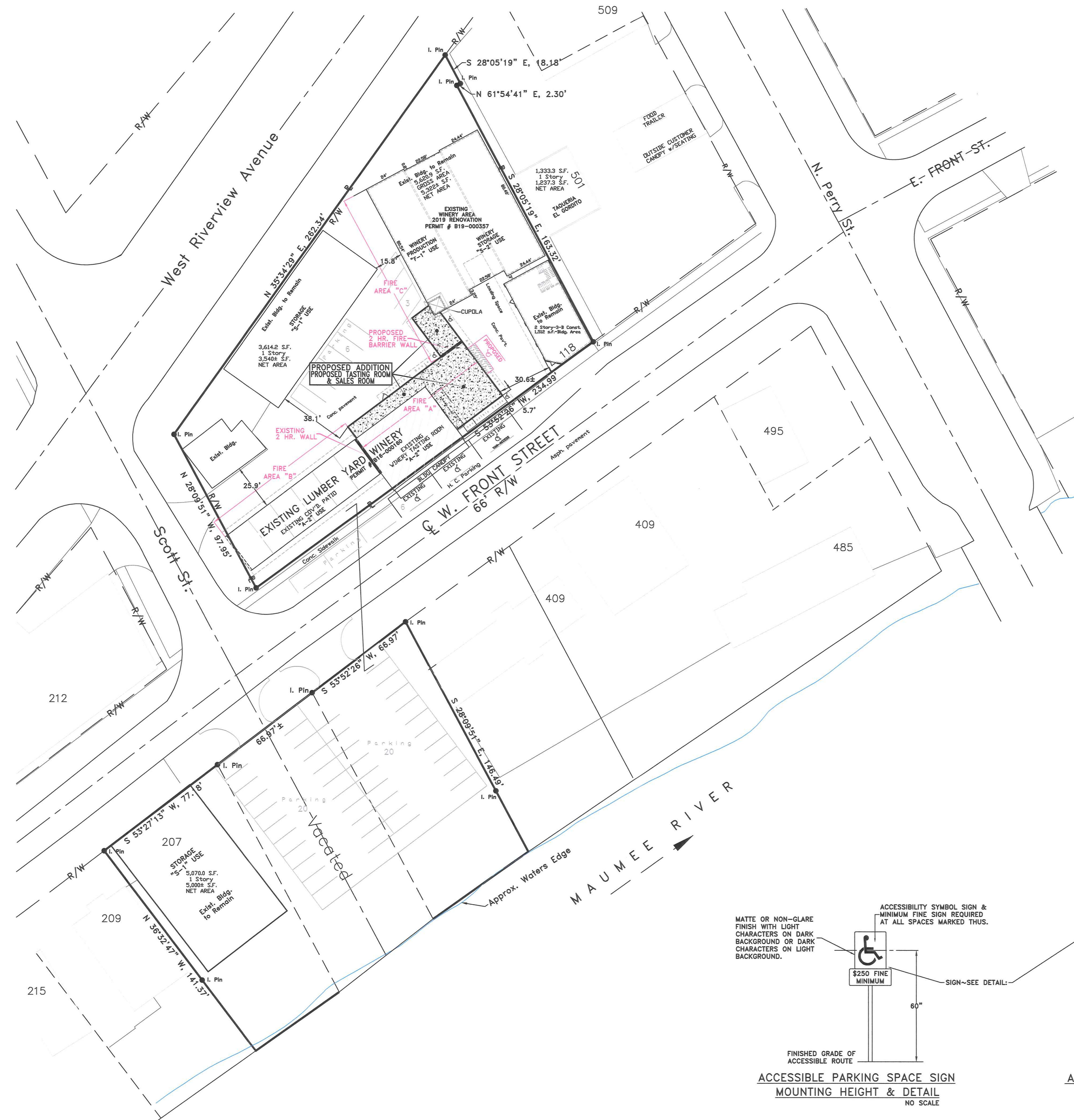


<b>THE LUMBER YARD WINERY &amp; SUPPLY</b>	
1186 W. FRONT STREET DIRECTOR\CD\ND\CUSTOMPROJ\FILE: LUMBERYARD WINERY\2021 TASTING ROOM ADDITION_FLRELEY	419.966.0411 NAPOLEON, OHIO 43545
DRAWN BY: R.D.S. ~ dba: NEW DIMENSIONS	REVISIONS:
<b>GENERAL BUILDING AREA PLAN</b>	SCALE: 3/16"=1'-0"
<b>TASTING ROOM &amp; SALES ROOM ADDITION</b>	DATE: OCT., 2021
	DRAWING NUMBER: A-3

PROJECT LOCATION



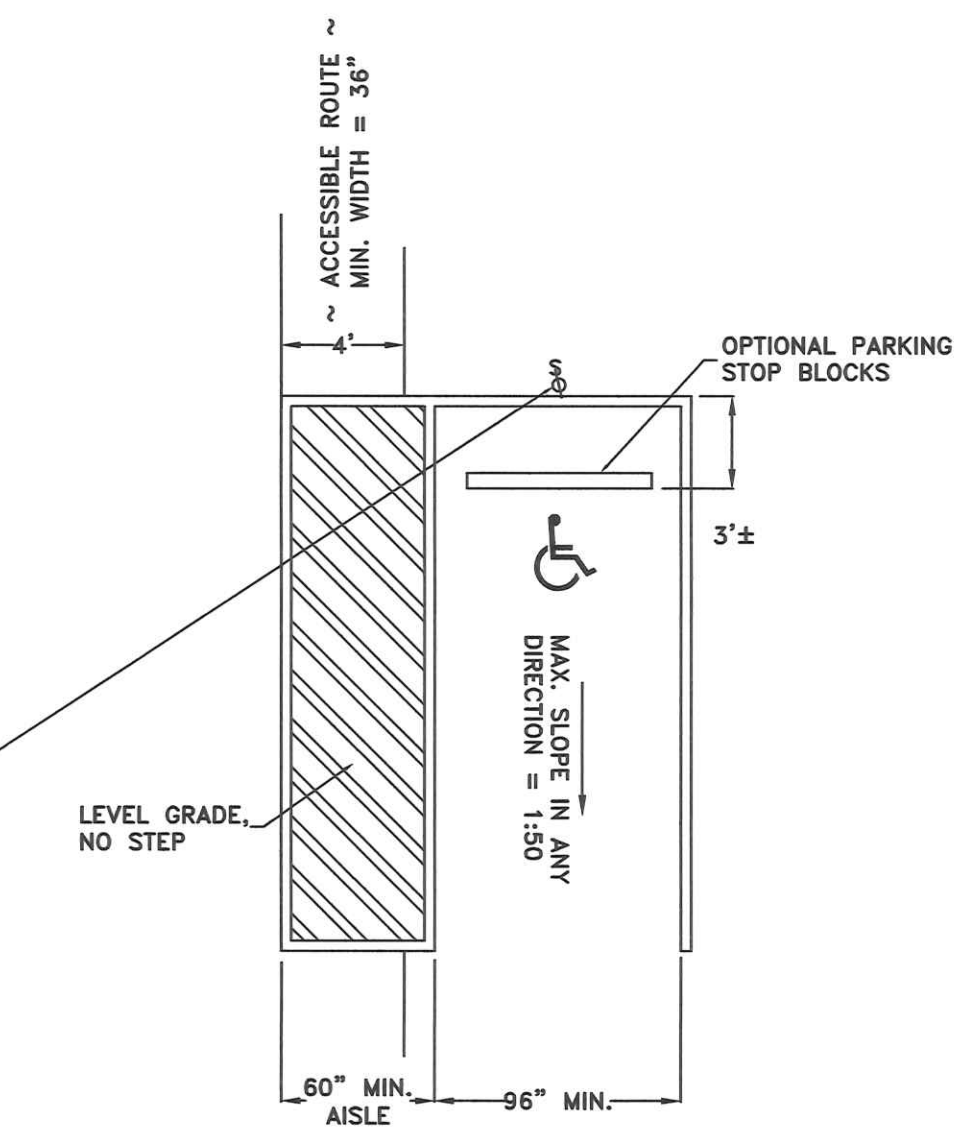
LOCATION PLAN



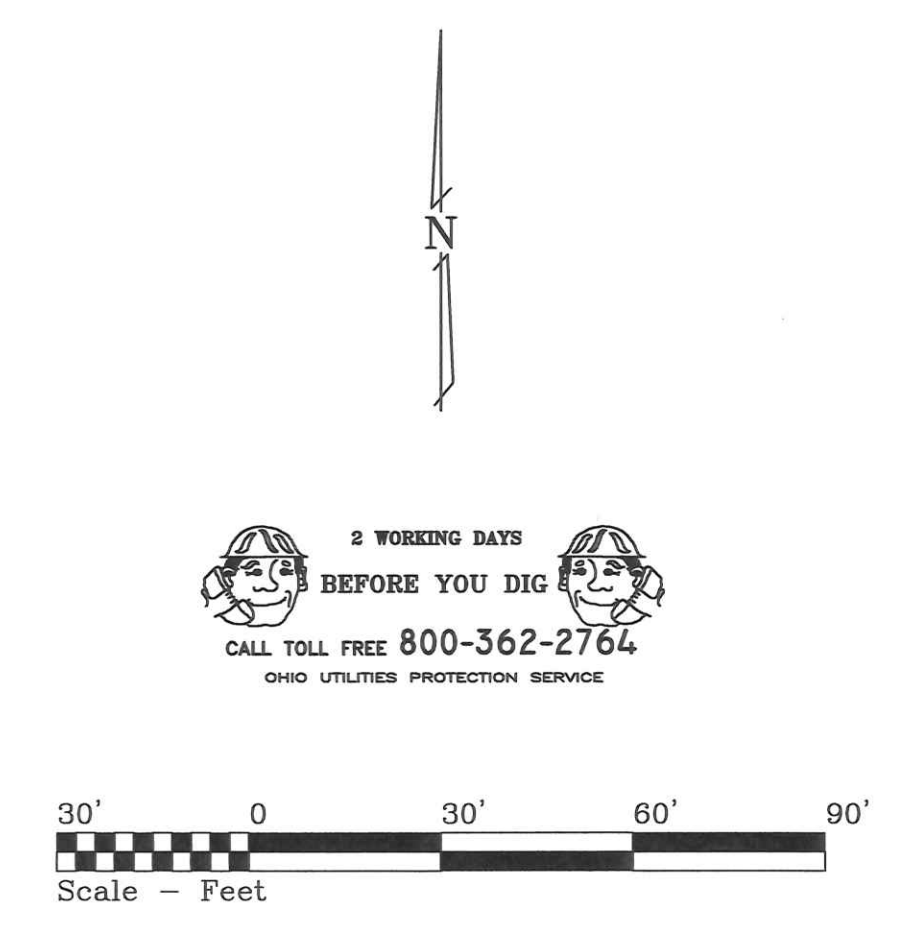
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ACCESSIBLE PARKING SPACE SIGN MOUNTING HEIGHT & DETAIL  
NO SCALE



ACCESSIBLE PARKING SPACE DIMENSIONS  
NO SCALE



<b>THE LUMBER YARD WINERY &amp; SUPPLY</b>		
118G W. FRONT STREET	419.966.0411	NAPOLEON, OHIO 43545
DIRECTORY: C:\ND\CUSTOMPROJECTS	FILE NAME: LUMBERYARD WINERY\SITE_2021	
DRAWN BY: R.D.S. ~ dba: NEW DIMENSIONS	REVISED:	
SITE PLAN & LOCATION MAP	SCALE: 1"=30'	DATE: OCT., 2021
H.C. PARKING SPACE DETAIL	DRAWING NUMBER: S-1	